

STREET ADDRESS STRAP NUMBER LEETRAN NOTE

2910 LEE BOULEVARD  
LEHIGH ACRES, FL 33971

25-44-26-03-00024.0060

THE NEAREST LEETRAN STOP IS LOCATED ON THE ADJACENT PARCEL TO THE EAST AND IS PROPOSED TO BE IMPROVED BY DOS2021-00082.

SITE DEVELOPMENT AREA

|                                 |           |        |
|---------------------------------|-----------|--------|
| PARCEL AREA: (0.92 AC)          | 40,361 SF | 100.0% |
| PROPOSED BUILDING ROOF AREA:    | 3,849 SF  | 9.5%   |
| PROPOSED CONCRETE PARKING AREA: | 18,789 SF | 46.5%  |
| PROPOSED CONCRETE AREA:         | 3,016 SF  | 7.5%   |
| PROPOSED TOTAL IMPERVIOUS AREA: | 25,654 SF | 63.5%  |

|                               |           |       |
|-------------------------------|-----------|-------|
| PROPOSED DRY DETENTION AREA:  | 4,266 SF  | 10.5% |
| PROPOSED OPEN GREEN AREA:     | 10,441 SF | 26.0% |
| PROPOSED TOTAL PERVIOUS AREA: | 14,707 SF | 36.5% |

OFF-SITE DEVELOPMENT AREA

|                                 |          |
|---------------------------------|----------|
| PROPOSED ASPHALT AREA:          | 1,693 SF |
| PROPOSED CONCRETE AREA:         | 773 SF   |
| PROPOSED TOTAL IMPERVIOUS AREA: | 2,466 SF |

PROJECT INFORMATION

|                     |                                   |
|---------------------|-----------------------------------|
| CURRENT ZONING      | = C-2 (COMMERCIAL)                |
| FUTURE LAND USE     | = CENTRAL URBAN/MIXED USE OVERLAY |
| PROPOSED USE        | = CAR WASH                        |
| EXIST. FLORIDA LAND | = #1822 - HIGH INTENSITY URBAN    |
| USE CLASSIFICATIONS |                                   |
| EXIST. SOIL TYPES   | = #28 - IMMOKALEE SAND            |
| IRRIGATION SERVICE  | = WELL                            |
| ARCHAEOLOGICAL      | = NONE                            |
| SENSITIVITY LEVEL   |                                   |

ZONING/ACTUAL USE

|              |                       |
|--------------|-----------------------|
| PROJECT SITE | = C-2 (CAR WASH)      |
| NORTH        | = ROW (5TH ST W)      |
| SOUTH        | = ROW (LEE BLVD.)     |
| EAST         | = C-2 (VACANT PARCEL) |
| WEST         | = C-2 (COMMERCIAL)    |

BUILDING SETBACK REQUIREMENTS

|                                   |  |
|-----------------------------------|--|
| LDC SEC. 34-1353                  |  |
| STREET SETBACK (ARTERIAL) = 50 FT |  |
| SIDE YARD = 15 FT                 |  |
| REAR YARD = 20 FT                 |  |

LANDSCAPE BUFFER REQUIREMENTS

|       |                                                                  |
|-------|------------------------------------------------------------------|
| NORTH | = CAR WASH TO ROW: 15' WIDE BUFFER PER 34-1353(E) (SEE VARIANCE) |
| SOUTH | = CAR WASH TO ROW: 25' WIDE BUFFER PER 34-1353(E) (SEE VARIANCE) |
| EAST  | = CAR WASH TO COM: 5' WIDE TYPE A BUFFER PER 34-416(D)           |
| WEST  | = CAR WASH TO COM: 5' WIDE TYPE A BUFFER PER 34-416(D)           |

PARKING REQUIREMENTS

|                                                           |  |
|-----------------------------------------------------------|--|
| PER SECTION 34-2020(B) LEE COUNTY LAND DEVELOPMENT CODE:  |  |
| 1 SPACE PER 300 SF FOR AUTO/TRUCK WASHING                 |  |
| 3,849 SF X 1 SPACE / 300 SF = 12.83 SPACES                |  |
| REQUIRED PARKING = 13 SPACES (INCLUDING 1 HANDICAP SPACE) |  |
| PROVIDED PARKING = 15 SPACES (INCLUDING 1 HANDICAP SPACE) |  |

BICYCLE PARKING REQUIREMENTS

|                                                                                                                             |  |
|-----------------------------------------------------------------------------------------------------------------------------|--|
| PER SECTION 10-610(D)3 LEE COUNTY LAND DEVELOPMENT CODE:                                                                    |  |
| THE NUMBER OF SAFE AND SECURE BICYCLE PARKING SPACES MUST BE FIVE PERCENT OF THE NUMBER OF REQUIRED VEHICLE PARKING SPACES. |  |

|                                               |  |
|-----------------------------------------------|--|
| REQUIRED AUTOMOBILE PARKING SPACES = 13       |  |
| = 13 AUTOMOBILE PARKING SPACES * 0.05         |  |
| = 1 BICYCLE SPACES REQUIRED                   |  |
| = 1 BICYCLE RACK REQUIRED (ASSUME 3 BICYCLES) |  |

PROVIDED = 1 (4' X 6') BICYCLE RACK AREA

OPEN SPACE REQUIREMENTS

|                                                               |  |
|---------------------------------------------------------------|--|
| PER SECTION 10-425 LEE COUNTY LAND DEVELOPMENT CODE:          |  |
| COMMERCIAL: (SMALL PROJECT) DEVELOPMENT IN MIXED USE OVERLAY: |  |

|                                                      |  |
|------------------------------------------------------|--|
| REQUIRED OPEN SPACE = 10% OF DEVELOPABLE PARCEL AREA |  |
| = 0.10 X 40,361 SF                                   |  |
| = 4,036 SF REQUIRED                                  |  |

|                                                                              |  |
|------------------------------------------------------------------------------|--|
| PROVIDED OPEN SPACE = PROPOSED OPEN GREEN AREA + PROPOSED DRY DETENTION AREA |  |
| = 10,441 SF + 4,266 SF                                                       |  |
| = 14,707 SF PROVIDED (36.5%)                                                 |  |

REFUSE AND SOLID WASTE CALCULATIONS

|                                                              |  |
|--------------------------------------------------------------|--|
| PROPOSED COMMERCIAL DEVELOPMENT = 3,849 SF BUILDING          |  |
| PER LDC SECTION 10-261(A) GARBAGE AND RECYCLABLE COLLECTION  |  |
| FOR BUILDINGS 0-5,000 SF = MIN. 60 SF FOR GARBAGE COLLECTION |  |
| AND MIN. 24 SF FOR RECYCLABLE COLLECTION                     |  |
| TOTAL REQUIRED: 60 SF + 24 SF = 84 SF                        |  |
| TOTAL PROVIDED: 12 FT X 10 FT = 120 SF                       |  |

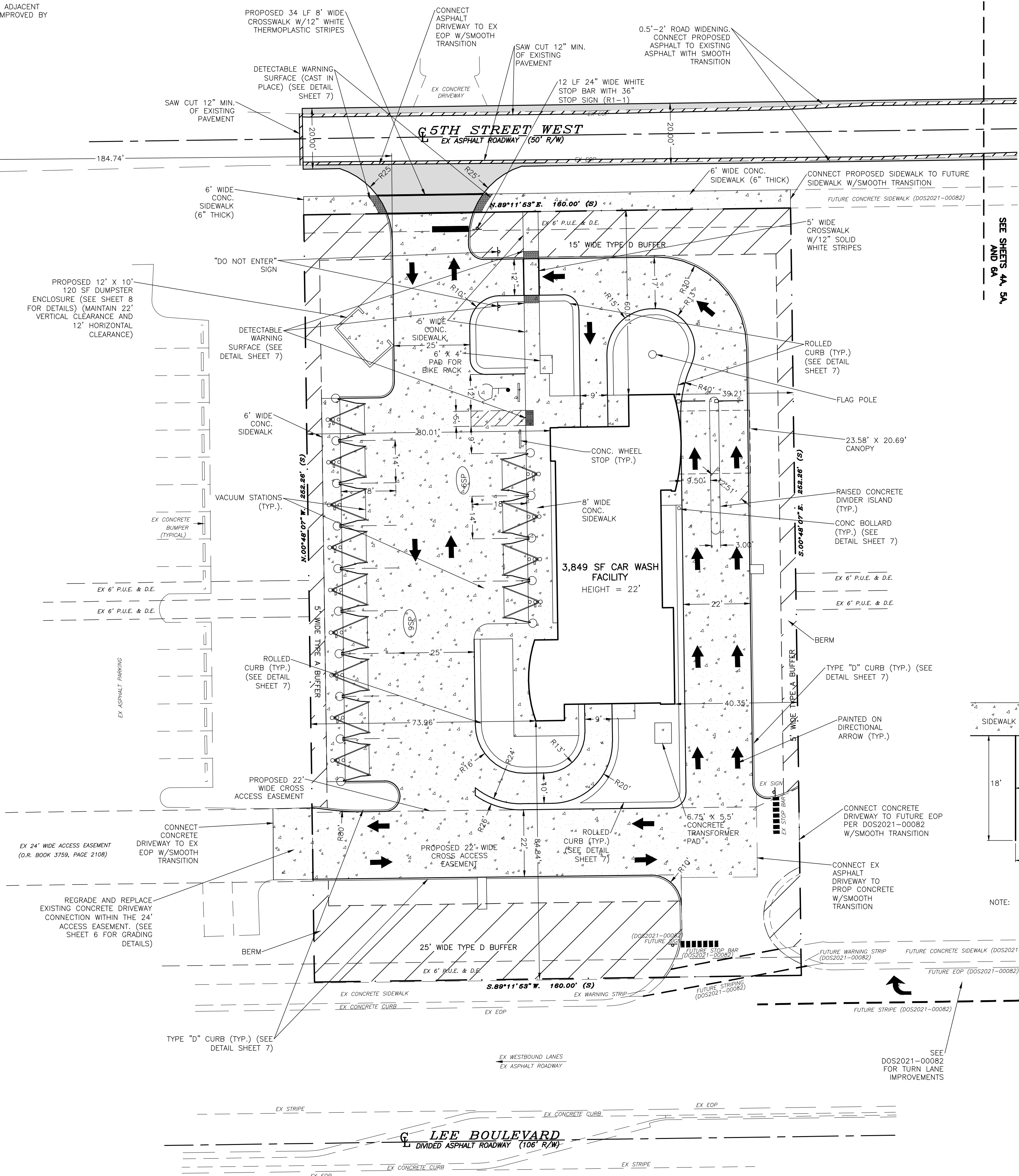
NOTES

- ALL EXISTING AND PROPOSED GRADES ARE N.A.V.D. OF 1988.
- THIS PARCEL LIES IN FLOOD ZONE "X".
- THIS PROJECT PRESENTS NO ADVERSE IMPACTS ON LOCAL GROUND OR SURFACE WATERS.
- THIS PROJECT DOES NOT ADVERSELY IMPACT THE FLOOD PLAN OR ANY RIVERINE AREAS.
- THIS SITE CAN BE USED SAFELY FOR THE DEVELOPMENT AS SHOWN WITHOUT UNDUE DANGER FROM FLOOD OR ADVERSE SOIL AND/OR FOUNDATION CONDITIONS.
- THIS SITE DOES NOT EXHIBIT ANY SALT WATER PONDING.

TRIP GENERATION CALCULATIONS

PER ITE TRIP GENERATION, 11TH EDITION,  
USE LUC 948 (AUTOMATED CAR WASH)  
THE PROPOSED BUILDING HAS ONE TUNNEL

RAW TRIP GENERATION  
AVERAGE VEHICLE TRIP ENDS - P.M. PEAK = 78 (39 ENTERING, 39 EXITING)

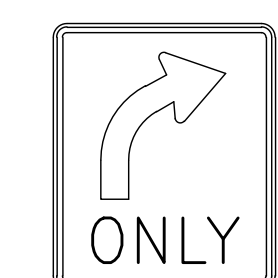


LEGEND

|        |                                    |
|--------|------------------------------------|
| R      | RADIUS (5' UNLESS OTHERWISE NOTED) |
| EXIST. | EXISTING                           |
| R/W    | RIGHT-OF-WAY                       |
| E.O.P. | EDGE OF PAVEMENT                   |
| CONC.  | CONCRETE                           |
| TYP.   | TYPICAL                            |
| PROP.  | PROPOSED                           |
| SF     | SQUARE FEET                        |
| LF     | LINEAR FEET                        |
| E.O.P. | EDGE OF PAVEMENT                   |
| P.U.E. | PUBLIC UTILITY EASEMENT            |
| D.E.   | DRAINAGE EASEMENT                  |
| LC     | LEE COUNTY                         |
| L.P.   | LIGHT POLE                         |
| CLF    | EXISTING CHAIN LINK FENCE          |
| 10SP   | NUMBER OF PARKING SPACES IN LOT    |
|        | PROPOSED PAVEMENT                  |
|        | PROPOSED CONCRETE                  |
| LDC    | LAND DEVELOPMENT CODE              |
| N.T.S. | NOT TO SCALE                       |
| C.P.   | CONCRETE PAD                       |



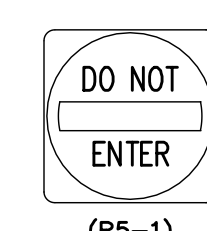
STOP SIGN DETAIL  
N.T.S.



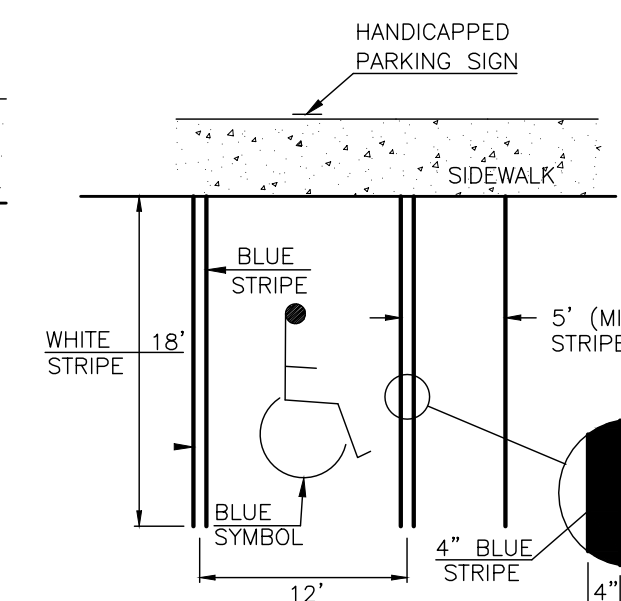
RIGHT OUT ONLY SIGN DETAIL  
N.T.S.



HANDICAPPED PARKING SIGN DETAIL  
N.T.S.



DO NOT ENTER SIGN DETAIL  
N.T.S.



TYPICAL PARKING SPACE DETAILS  
N.T.S.

NOTE:

ALL PAVEMENT MARKINGS WITHIN THE ROW MUST BE THERMOPLASTIC

ROW CONSTRUCTION NOTE

WHEN WORKING IN THE ROW NOT MORE THAN 1/2 OF THE ROAD OR STREET SHALL BE CLOSED AND TRAFFIC SHALL BE CONTROLLED SO AS TO PROVIDE FOR THE SAFETY AND MINIMUM HINDRANCE TO THE PUBLIC. ALL TRAFFIC CONTROL OPERATIONS SHALL CONFORM TO THE MOST CURRENT ISSUE OF THE FDOT PUBLICATION "MANUAL ON TRAFFIC CONTROLS AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS."

EXISTING PAVEMENT MARKINGS IN THE ROW SHALL BE REMOVED USING A METHOD APPROVED BY THE LDCOT STAFF. SUCH THAT PAVEMENT SURFACE SCARS OR TRACES OF THE REMOVED PAVEMENT MARKINGS WILL NOT CONFLICT WITH NEW PAVEMENT MARKINGS. PAINTING TO BLACKOUT, HIDE, OR DISGUISE EXISTING PAVEMENT MARKINGS SHALL NOT BE ALLOWED.

| DATE      | DESIGNED BY | ADM                     | DRAWN BY | ADM       | CHECKED BY | ADM       | APPROVED BY | TDM       |
|-----------|-------------|-------------------------|----------|-----------|------------|-----------|-------------|-----------|
| 02/2022   |             |                         |          |           |            |           |             |           |
| REVISIONS | DATE        | REVISIONS               | DATE     | REVISIONS | DATE       | REVISIONS | DATE        | REVISIONS |
| 1         | 07/2022     | REVISED PER LC COMMENTS |          |           |            |           |             |           |

2910 LEE BOULEVARD

SITE DIMENSION PLAN

Civil Engineering and Planning

43 Barkley Circle, Suite 200  
Fort Myers, FL 33907  
Phone: (239) 433-4231  
Fax: (239) 433-9632  
Cert. of Authorization # 29086

Digitally signed by Thomas Dean Martin  
Date: 2022.08.29 14:14:07 -0400

5 of 14

SCALE: AS NOTED

**STREET ADDRESS** 2910 LEE BOULEVARD  
LEHIGH ACRES, FL 33971

**STRAP NUMBER** 25-44-26-03-00024.0060

**SITE DEVELOPMENT AREA**

|                                 |           |        |
|---------------------------------|-----------|--------|
| PARCEL AREA: (0.92 AC)          | 40,361 SF | 100.0% |
| PROPOSED BUILDING ROOF AREA:    | 3,849 SF  | 9.5%   |
| PROPOSED CONCRETE PARKING AREA: | 18,789 SF | 46.5%  |
| PROPOSED CONCRETE AREA:         | 3,016 SF  | 7.5%   |
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**OFF-SITE DEVELOPMENT AREA**

|                                 |          |
|---------------------------------|----------|
| PROPOSED ASPHALT AREA:          | 1,096 SF |
| PROPOSED CONCRETE AREA:         | 646 SF   |
| PROPOSED TOTAL IMPERVIOUS AREA: | 1,742 SF |

**PROJECT INFORMATION**

|                     |                                   |
|---------------------|-----------------------------------|
| CURRENT ZONING      | = C-2 (COMMERCIAL)                |
| FUTURE LAND USE     | = CENTRAL URBAN/MIXED USE OVERLAY |
| PROPOSED USE        | = CAR WASH                        |
| EXIST. FLORIDA LAND | = #1822 - HIGH INTENSITY URBAN    |
| USE CLASSIFICATIONS |                                   |
| EXIST. SOIL TYPES   | = #28 - IMMOKALEE SAND            |
| IRRIGATION SERVICE  | = WELL                            |
| ARCHAEOLOGICAL      | = NONE                            |
| SENSITIVITY LEVEL   |                                   |

**ZONING/ACTUAL USE**

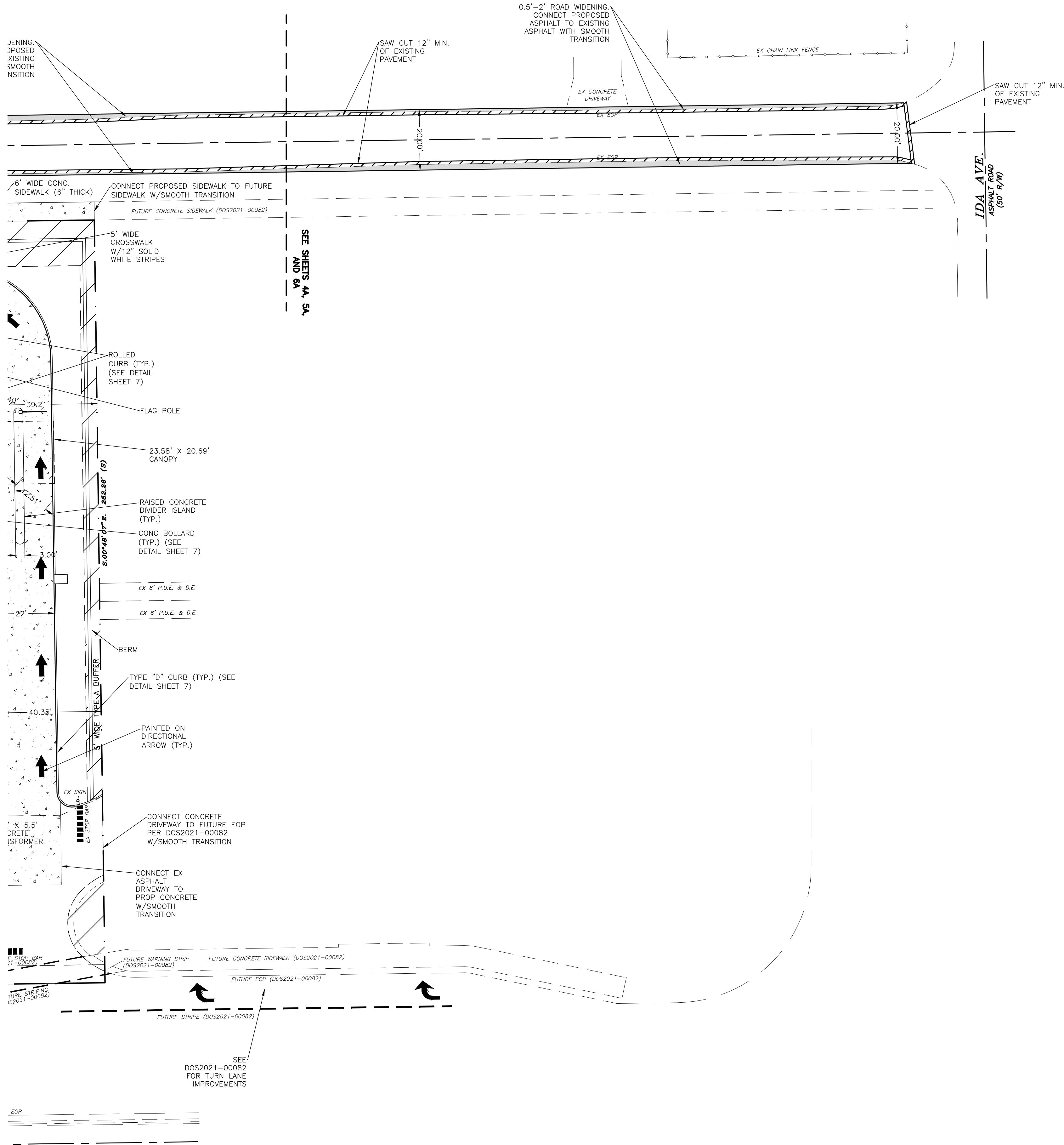
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|--------------|-----------------------|
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| NORTH        | = ROW (5TH ST W)      |
| SOUTH        | = ROW (LEE BLVD.)     |
| EAST         | = C-2 (VACANT PARCEL) |
| WEST         | = C-2 (COMMERCIAL)    |

**BUILDING SETBACK REQUIREMENTS**

LDC SEC. 34-1353  
STREET SETBACK (ARTERIAL) = 50 FT  
SIDE YARD = 15 FT  
REAR YARD = 20 FT

**LANDSCAPE BUFFER REQUIREMENTS**

|       |                                                                  |
|-------|------------------------------------------------------------------|
| NORTH | = CAR WASH TO ROW: 15' WIDE BUFFER PER 34-1353(E) (SEE VARIANCE) |
| SOUTH | = CAR WASH TO ROW: 25' WIDE BUFFER PER 34-1353(E) (SEE VARIANCE) |
| EAST  | = CAR WASH TO COM: 5' WIDE TYPE A BUFFER PER 34-416(D)           |
| WEST  | = CAR WASH TO COM: 5' WIDE TYPE A BUFFER PER 34-416(D)           |



**NOTE:**

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**LEGEND**

|           |                                    |
|-----------|------------------------------------|
| R         | RADIUS (5' UNLESS OTHERWISE NOTED) |
| EX.       | EXISTING                           |
| R/W       | RIGHT-OF-WAY                       |
| E.O.P.    | EDGE OF PAVEMENT                   |
| CONC.     | CONCRETE                           |
| TYP.      | TYPICAL                            |
| PROP.     | PROPOSED                           |
| SF        | SQUARE FEET                        |
| LF        | LINEAR FEET                        |
| E.O.P.    | EDGE OF PAVEMENT                   |
| P.U.E.    | PUBLIC UTILITY EASEMENT            |
| D.E.      | DRAINAGE EASEMENT                  |
| LC        | LEE COUNTY                         |
| L.P.      | LIGHT POLE                         |
| CLF       | EXISTING CHAIN LINK FENCE          |
| (10SP)    | NUMBER OF PARKING SPACES IN LOT    |
| [Pattern] | PROPOSED PAVEMENT                  |
| [Pattern] | PROPOSED CONCRETE                  |
| LDC       | LAND DEVELOPMENT CODE              |
| N.T.S.    | NOT TO SCALE                       |
| C.P.      | CONCRETE PAD                       |

1" = 20'

2910 LEE BOULEVARD

SITE DIMENSION PLAN

Civil Engineering  
and  
Planning



43 Barkley Circle, Suite 200  
Fort Myers, FL 33907  
Phone: (239) 433-4231  
Fax: (239) 433-9632  
Cert. of Authorization # 29086

Digitally signed  
by Thomas  
Dean Martin  
Date: 2022.08.29  
14:14:38 -04'00'

DATE:  
Dean Martin, P.E.  
Florida #52022

This form has been digitally signed and sealed by Dean Martin on the date adjacent to the seal. Printed copies of this document are not considered signed and are not enforceable.

SHEET #

5A of 14

SCALE: AS NOTED

STREET ADDRESS

2910 LEE BOULEVARD  
LEHIGH ACRES, FL 33971

STRAP NUMBER

25-44-26-03-00024.0060

STORMWATER MANAGEMENT INFORMATION

PER DESIGN CALCULATIONS:  
MIN. PARKING LOT ELEVATION = +26.49' (N.A.V.D.)  
MIN. PERIMETER BERM ELEVATION = +26.49' (N.A.V.D.)  
MIN. FINISHED FLOOR ELEVATION = +27.56' (N.A.V.D.)

PER CONSTRUCTION PLANS:  
MIN. GRADE FOR PARKING LOT = +26.49' (N.A.V.D.)  
MIN. GRADE FOR PERIMETER BERM = +26.5' (N.A.V.D.)  
MIN. GRADE FOR FINISHED FLOOR = +28.00' (N.A.V.D.)

W.S.W.T. EL. = +21.8' N.A.V.D. (PER ADJACENT DOS2021-00082)

THE CONVERSION FACTOR FROM NGVD TO NAVD IS "-1.20'".

FLOOD ZONE

THE PARCEL IS LOCATED IN FLOOD ZONE "X"  
THIS INFORMATION WAS TAKEN FROM THE BOUNDARY SURVEY  
PROVIDED BY HARRIS-JORGENSEN, INC. DATED 02-01-22

STORMWATER CALCULATIONS

TOTAL DETENTION REQUIRED:

= 1" X TOTAL PARCEL AREA X 1'/12"  
= 1" X 40,361 SF X 1'/12"  
= 3,363 CF

OR 2.5" X (TOTAL IMPERVIOUS AREA - ROOF AREA) /  
(TOTAL PARCEL AREA - ROOF AREA) X TOTAL PARCEL AREA X 1'/12"  
= 2.5" X (25,654 SF - 3,849 SF) / (40,361 SF - 3,849 SF)  
X 40,361 SF X 1'/12" = 5,021 CF  
= 5,021 CF X 0.50 (DRY RETENTION) = 2,510 CF

TOTAL DETENTION PROVIDED:

= VOLUME IN DRA #1 + DRA #2  
= 5,244 CF + 870 CF = 6,114 CF

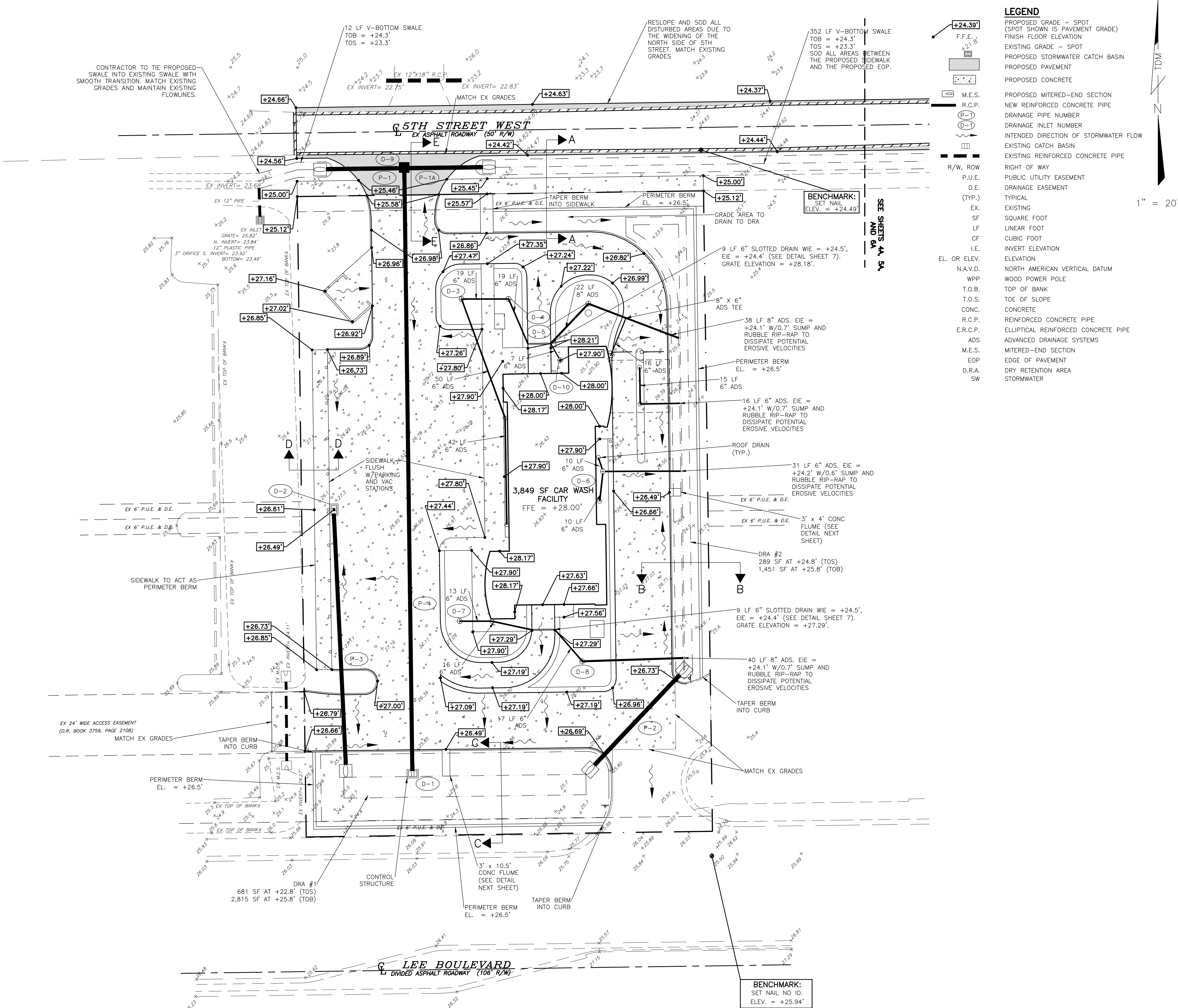
DRAINAGE STRUCTURE SCHEDULE

| INLET NUMBER | INLET TYPE | GRATE ELEVATION                         | INVERT ELEVATIONS                  |
|--------------|------------|-----------------------------------------|------------------------------------|
| D-1          | C (MOD.)   | CONTROL STRUCTURE (SEE DETAIL, SHEET 7) |                                    |
| D-2          | C          | +26.49'                                 | +24.1' SIE                         |
| D-3          | YD         | +27.0'                                  | +24.8' EIE, +24.9' SIE             |
| D-4          | YD         | +27.0'                                  | +24.7' WIE, +24.6' SEIE            |
| D-5          | YD         | +26.7'                                  | +24.3' SWIE, +24.2' SEIE           |
| D-6          | YD         | +27.0'                                  | +24.4' NIE, +24.4' SIE, +24.3' EIE |
| D-7          | YD         | +27.0'                                  | +24.8' EIE                         |
| D-8          | YD         | +26.7'                                  | +24.2' EIE, +24.3' NWIE            |
| D-9          | JB*        | +27.50'                                 | +23.2' SIE, +23.1' EIE, +23.0' WIE |
| D-10         | YD         | +27.90'                                 | +24.5' NWIE                        |

\* = 4' X 4' JUNCTION BOX WITH SOLID TRAFFIC BEARING LID

DRAINAGE PIPE SCHEDULE

| PIPE NUMBER | DESCRIPTION                                                                            |
|-------------|----------------------------------------------------------------------------------------|
| P-1         | 29 LF 12" X 18" E.R.C.P. W/(1) 5' M.E.S. (34 LF TOTAL)<br>WIE = +22.9' W/0.2' SUMP     |
| P-1A        | 29 LF 12" X 18" E.R.C.P. W/(1) 5' M.E.S. (34 LF TOTAL)<br>EIE = +23.1'                 |
| P-2         | 49 LF 12" X 18" E.R.C.P. W/(2) 5' M.E.S. (59 LF TOTAL)<br>NEIE = +24.6', SWIE = +22.6' |
| P-3         | 99 LF 12" X 18" E.R.C.P. W/(1) 5' M.E.S. (104 LF TOTAL)<br>SIE = +22.6'                |
| P-4         | 238 LF 12" X 18" E.R.C.P.                                                              |



LEGEND

PROPOSED GRADE - SPOT  
(SPOT SHOWN IS PAVEMENT GRADE)  
FINISH FLOOR ELEVATION  
EXISTING GRADE - SPOT  
PROPOSED STORMWATER CATCH BASIN  
PROPOSED PAVEMENT  
PROPOSED CONCRETE  
PROPOSED MITERED-END SECTION  
NEW REINFORCED CONCRETE PIPE  
DRAINAGE PIPE NUMBER  
DRAINAGE INLET NUMBER  
INTENDED DIRECTION OF STORMWATER FLOW  
EXISTING CATCH BASIN  
EXISTING REINFORCED CONCRETE PIPE  
RIGHT OF WAY  
PUBLIC UTILITY EASEMENT  
DRAINAGE EASEMENT  
TYPICAL  
EXISTING  
SF  
LINEAR FOOT  
CF  
CUBIC FOOT  
I.E.  
INVERT ELEVATION  
ELEVATION  
N.A.V.D.  
NORTH AMERICAN VERTICAL DATUM  
WPP  
WOOD POWER POLE  
T.O.B.  
TOP OF BANK  
T.O.S.  
TOE OF SLOPE  
CONC.  
CONCRETE  
R.C.P.  
REINFORCED CONCRETE PIPE  
E.R.C.P.  
ELLIPTICAL REINFORCED CONCRETE PIPE  
ADS  
ADVANCED DRAINAGE SYSTEMS  
M.E.S.  
MITERED-END SECTION  
EOP  
EDGE OF PAVEMENT  
D.R.A.  
DRY RETENTION AREA  
SW  
STORMWATER

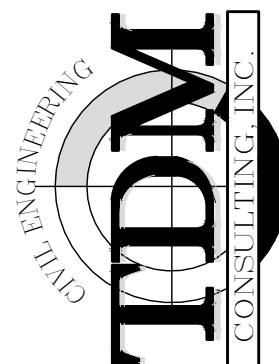
2910 LEE BOULEVARD

PAVING, GRADING, AND  
DRAINAGE PLAN

Civil Engineering  
and  
Planning



dean@ldmconsulting.com  
www.ldmconsulting.com



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By Thomas  
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Date: 2022.08.29  
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6 of 14

SCALE: 1" = 20'

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LEHIGH ACRES, FL 33971

STRAP NUMBER

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STORMWATER MANAGEMENT INFORMATION

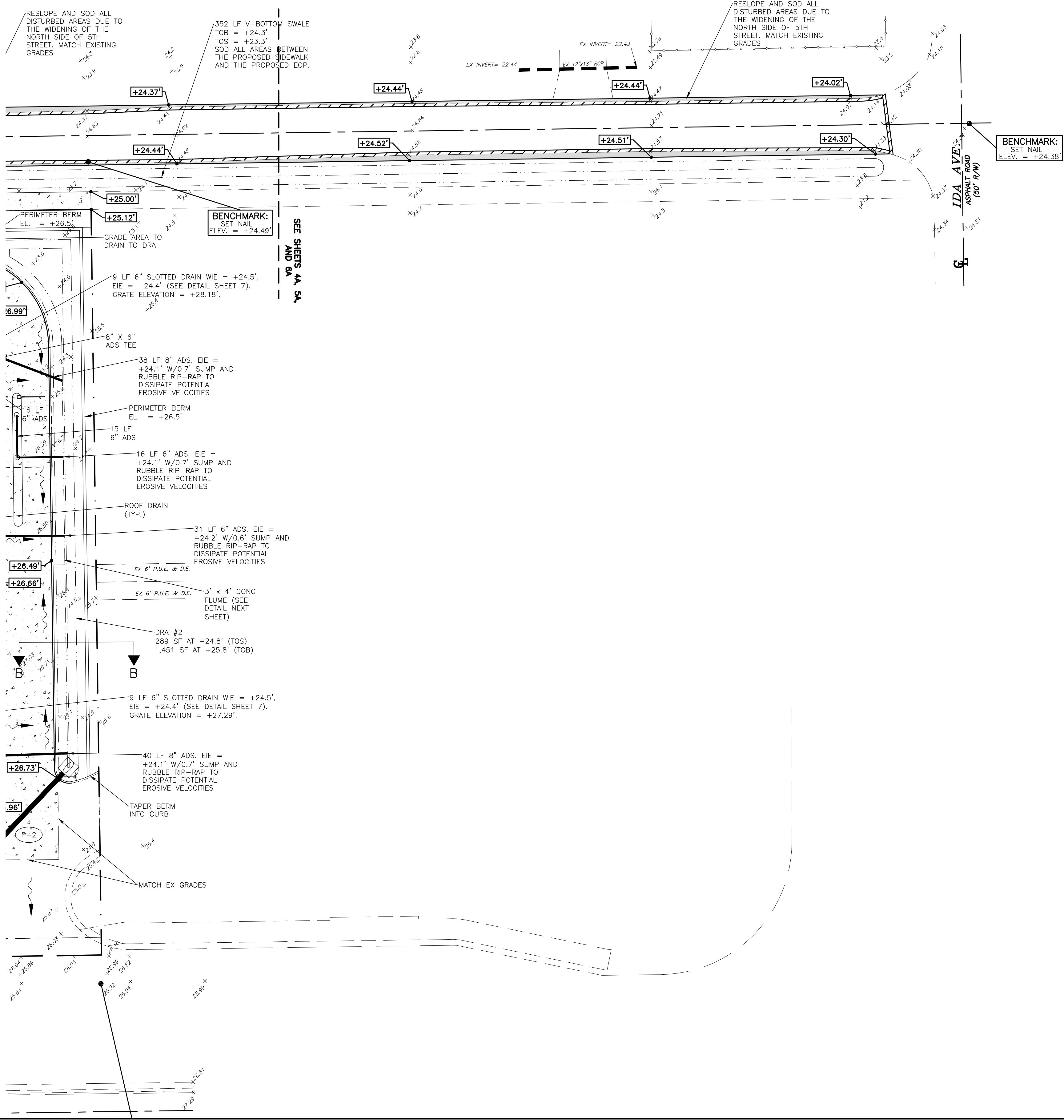
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MIN. GRADE FOR PARKING LOT = +26.49' (N.A.V.D.)  
MIN. GRADE FOR PERIMETER BERM = +26.5' (N.A.V.D.)  
MIN. GRADE FOR FINISHED FLOOR = +28.00' (N.A.V.D.)

W.S.W.T. EL. = +21.8' N.A.V.D. (PER ADJACENT DOS2021-00082)  
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(SPOT SHOWN IS PAVEMENT GRADE)  
FINISH FLOOR ELEVATION  
EXISTING GRADE - SPOT  
PROPOSED STORMWATER CATCH BASIN  
PROPOSED PAVEMENT  
PROPOSED CONCRETE  
PROPOSED MITERED-END SECTION  
NEW REINFORCED CONCRETE PIPE  
DRAINAGE PIPE NUMBER  
DRAINAGE INLET NUMBER  
INTENDED DIRECTION OF STORMWATER FLOW  
EXISTING CATCH BASIN  
EXISTING REINFORCED CONCRETE PIPE  
RIGHT OF WAY  
PUBLIC UTILITY EASEMENT  
DRAINAGE EASEMENT  
TYPICAL  
EXISTING  
SF SQUARE FOOT  
LF LINEAR FOOT  
CF CUBIC FOOT  
I.E. INVERT ELEVATION  
EL. OR ELEV. ELEVATION  
N.A.V.D. NORTH AMERICAN VERTICAL DATUM  
WPP WOOD POWER POLE  
T.O.B. TOP OF BANK  
T.O.S. TOE OF SLOPE  
CONC. CONCRETE  
R.C.P. REINFORCED CONCRETE PIPE  
E.R.C.P. ELLIPTICAL REINFORCED CONCRETE PIPE  
ADS ADVANCED DRAINAGE SYSTEMS  
M.E.S. MITERED-END SECTION  
EOP EDGE OF PAVEMENT  
D.R.A. DRY RETENTION AREA  
SW STORMWATER

**BENCHMARK:**  
SET NAIL  
ELEV. = +24.38'

**IDA AVE.**  
ASPHALT ROAD (60' R/W)

**SEE SHEETS 4A, 5A, AND 6A**

**1" = 20'**

| DATE    | DESIGNED BY | ADM | DRAWN BY | ADM | CHECKED BY | TDM | APPROVED BY | TDM |
|---------|-------------|-----|----------|-----|------------|-----|-------------|-----|
| 02/2022 |             |     |          |     |            |     |             |     |

| DATE    | REVISIONS | REVISOR | REVISION                  |
|---------|-----------|---------|---------------------------|
| 07/2022 | 1         |         | REVISED PER FCMA COMMENTS |

**2910 LEE BOULEVARD**

**PAVING, GRADING, AND DRAINAGE PLAN**

Civil Engineering and Planning

**TDM CONSULTING, INC.**

43 Barkley Circle, Suite 200  
Fort Myers, FL 33907  
Phone: (239) 433-4231  
Fax: (239) 433-9632  
Cert. of Authorization # 29086

Digitally signed by Thomas Dean Martin  
Date: 2022.08.29 14:15:05 -0400

Dean Martin, P.E.  
Florida #52022

NOT VALID WITHOUT EMBOSSED SEAL, SIGNATURE, AND DATE.

**6A of 14**

SCALE: 1" = 20'

